

148,800 SF

ON 25.43 ACRES

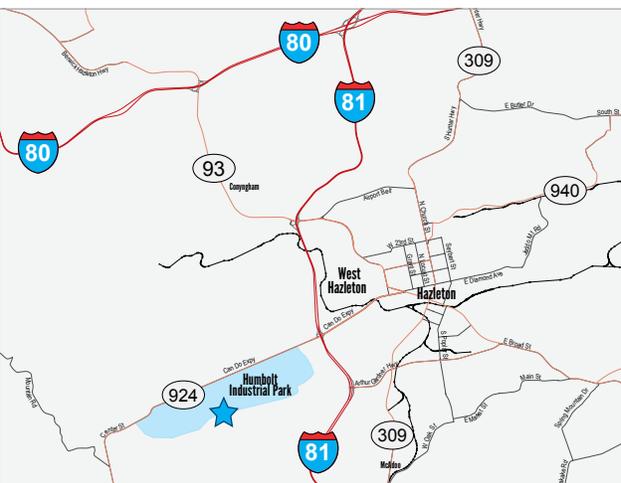
40A-2 CINNAMON OAK DRIVE

HUMBOLDT INDUSTRIAL PARK
HAZLE TOWNSHIP, PA

SAMPLE BUILDING



EXCEPTIONAL ACCESS TO I-81 AND I-80



DIRECTIONS TO HUMBOLDT INDUSTRIAL PARK:

Traveling North on I-81 - Take Exit 143 for Rt. 924 toward Hazleton. At the end of the exit ramp, turn left. Drive approximately 1.2 miles. Humboldt Industrial Park will be on the left.

Traveling South on I-81 - Take Exit 143 for Rt. 924 toward Hazleton. At the end of the exit ramp, turn right. Drive approximately 1.2 miles. Humboldt Industrial Park will be on the left.

570.823.1100
mericle.com



East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

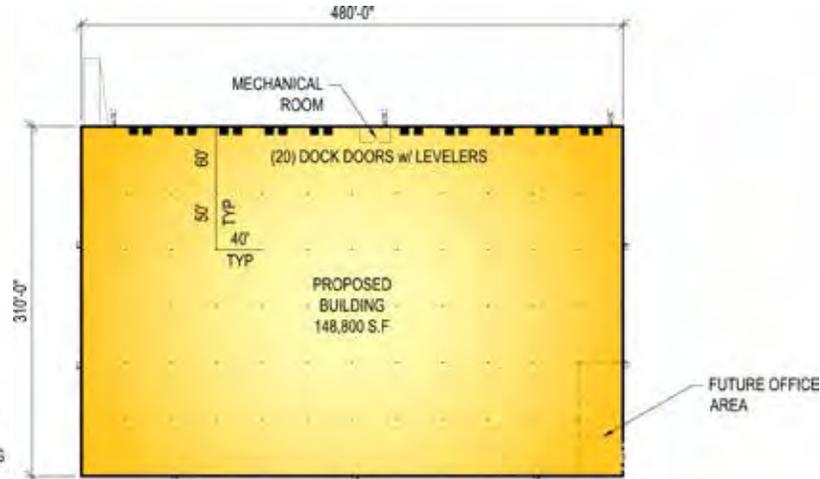
148,800 SF

ON 25.43 ACRES

FOR LEASE IN NORTHEASTERN PA!

40A-2 CINNAMON OAK DRIVE

HUMBOLDT INDUSTRIAL PARK
HAZLE TOWNSHIP, PA



Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions.

PROPOSED PROPERTY SPECIFICATIONS

- Building shall contain 148,800 SF with dimensions of 480' (length) x 310' (width) on 25.43 acres
- 30' - 33'3" ceiling clear height
- 40' x 50' column spacing with a 60' deep staging bay at the loading dock
- 6" thick reinforced concrete floor slab
- Twenty (20) 9' x 10' vertical lift dock doors with 30,000lb. capacity mechanical levelers
- One (1) 12' x 14' drive-in door with ramp
- Warehouse heating shall be energy efficient gas-fired unit heaters
- Electrical service shall be 800 amp, 277/480 V, 3-phase
- Warehouse lighting shall be energy efficient T-bay lighting
- Office lighting shall be fluorescent with prismatic lenses
- Fire protection shall be ESFR wet sprinkler system
- On-site parking for approx. 163 vehicles
- Site is partially located in Keystone Opportunity Zone (KOZ)
- Tax benefits available through 2017

570.823.1100
mericle.com

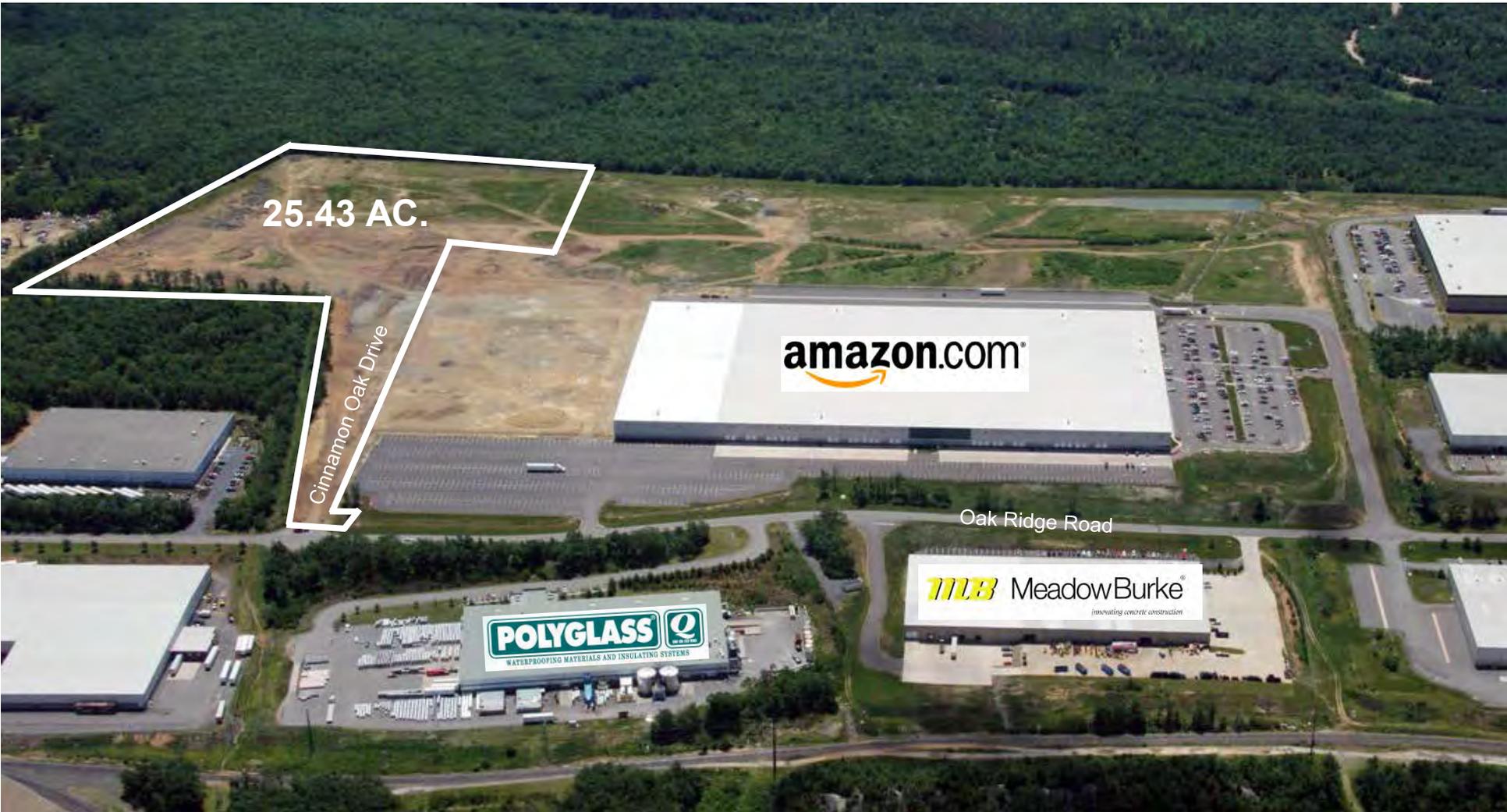


East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

40A-2 Cinnamon Oak Drive
Humboldt Industrial Park, Hazle Township, PA

25.43 ACRES



570.823.1100
mericle.com



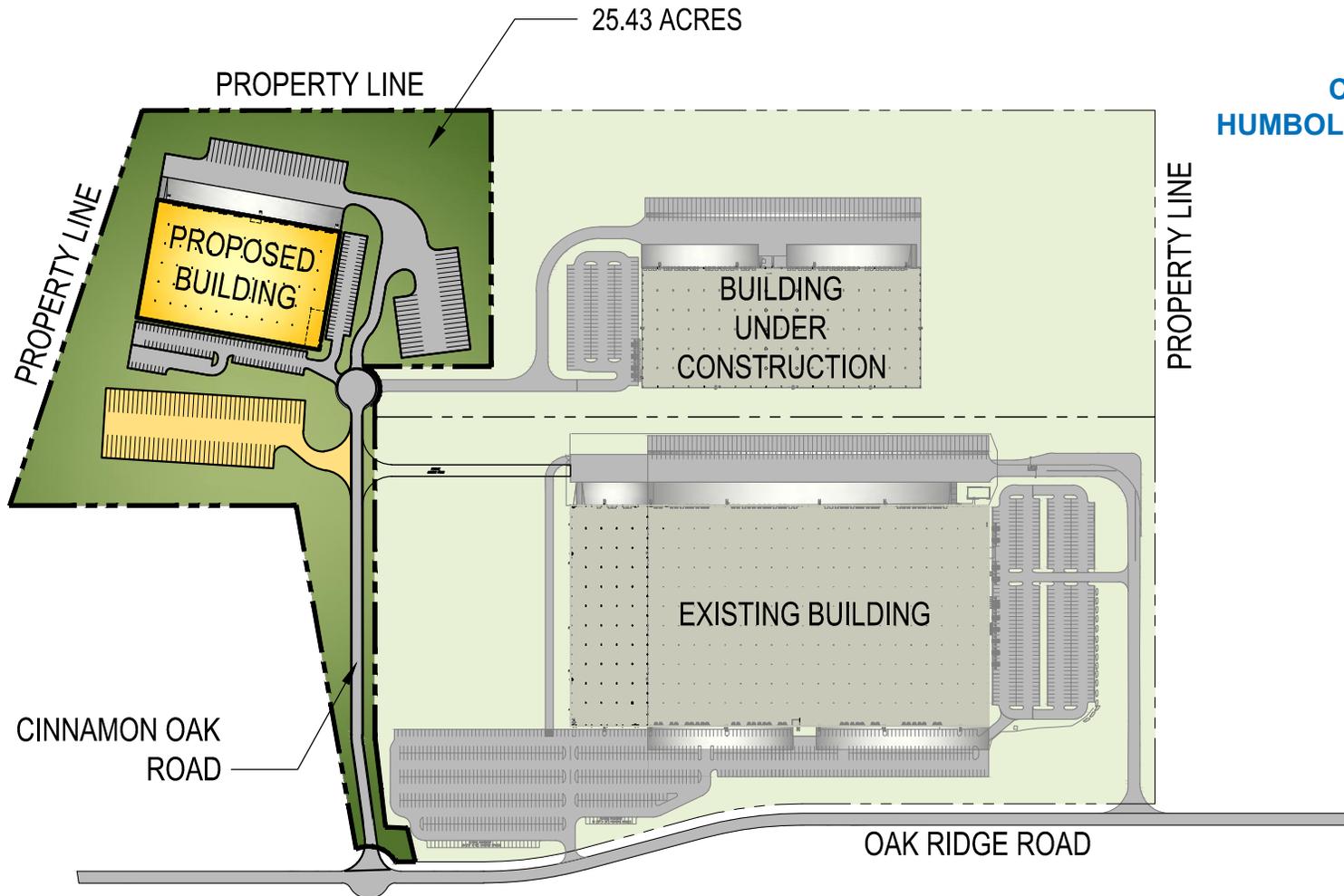
East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

CONCEPTUAL SITE PLAN

PROPOSED 148,800 S.F. BUILDING

PARCEL #40A-2
CINNAMON OAK DRIVE
HUMBOLDT INDUSTRIAL PARK
HAZLETON, PA 18202



These plans have been prepared solely for marketing purposes for the exclusive use of
- Mericle Commercial Real Estate Services

F:\Job\2593\mdc\DWG-SPEC\Concepts\SITE LAYOUT-082113.dwg MP

570.823.1100
mericle.com



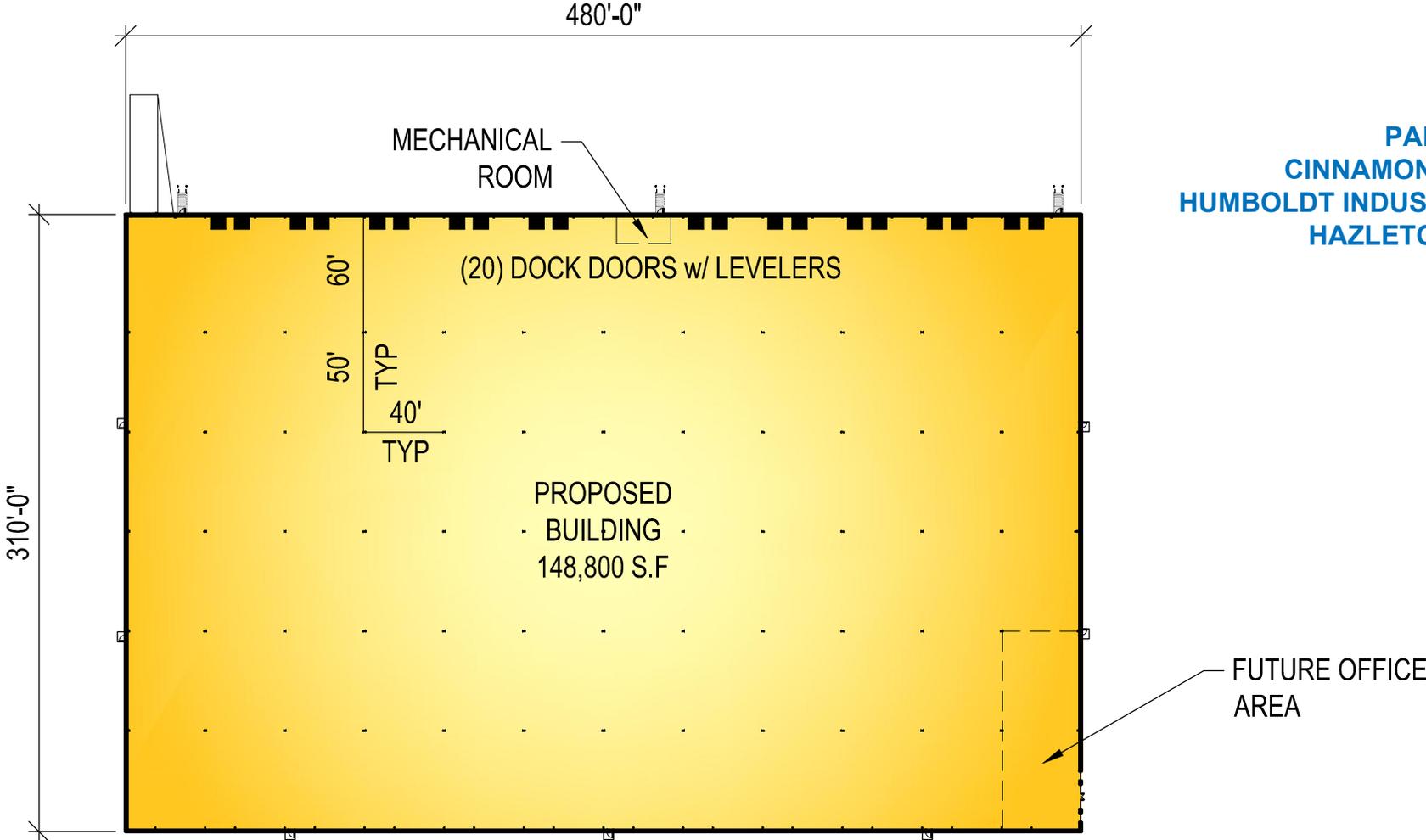
East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

CONCEPTUAL FLOOR PLAN

PROPOSED 148,800 S.F. BUILDING

**PARCEL #40A-2
CINNAMON OAK DRIVE
HUMBOLDT INDUSTRIAL PARK
HAZLETON, PA 18202**



These plans have been prepared solely for marketing purposes for the exclusive use of
- Mericle Commercial Real Estate Services

F:\Job\2593\mdl\DWG-SPEC\Concepts\SITE LAYOUT-082113.dwg MP

570.823.1100
mericle.com



East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

SITE IMPROVEMENTS

- SITE CONTAINS APPROXIMATELY 25.43 ACRES
- ON-SITE PARKING FOR APPROXIMATELY 163 VEHICLES.
- ON-SITE TRAILER STORAGE FOR APPROXIMATELY 65 TRAILERS,
- ASPHALT PAVING INCLUDING HEAVY DUTY PAVE IN TRUCK AREAS.
- PROFESSIONALLY PREPARED LANDSCAPE DESIGN.
- FUTURE ON-SITE TRAILER STORAGE FOR APPROXIMATELY 80 TRAILERS.

BUILDING IMPROVEMENTS

- BUILDING CONTAINS 148,800 SQUARE FEET.
- BUILDING DIMENSIONS 480' (LENGTH) X 310' (DEPTH).
- MIN. 30' CLEAR STRUCTURAL HEIGHT AT LOW EAVE.
- IN. 33'-3" CLEAR STRUCTURAL HEIGHT AT RIDGE.
- 40' X 50' BAY SPACING WITH A 60' DEEP STAGING BAY AT THE LOADING DOCK.
- 6" THICK CONCRETE FLOOR SLAB REINFORCED WITH WELDED STEEL MATS.
- MR24 STANDING SEAM ROOF SYSTEM.
- EXTERIOR WALL SYSTEM CONSISTING OF ARCHITECTURAL MASONRY, ALUMINUM/GLAZING ENTRANCE SYSTEMS AND INSULATED METAL WALL PANELS.
- THE BUILDING SHALL CONTAIN (20) 9' X 10' VERTICAL LIFT DOCK DOORS WITH 30,000 LB CAPACITY MECHANICAL LEVELERS WITH BUMPERS.
- THE BUILDING SHALL CONTAIN (1) 12' X 14' VERTICAL LIFT DRIVE-IN DOOR .

UTILITIES AND BUILDING SYSTEMS

- HEATING SYSTEM SHALL BE ENERGY EFFICIENT CAMBRIDGE DIRECT FIRED UNITS.
- ELECTRICAL SERVICE(S) SHALL BE A 277/480 V 3 PHASE 800A EXPANDABLE UP TO 4000A
- INTERIOR LIGHTING SHALL BE ENERGY EFFICIENT FLUORESCENT T-BAY FIXTURES WITH LIGHTING LEVELS OF 18 -22 FC AVERAGE.
- FIRE PROTECTION SYSTEM SHALL BE AN EARLY SUPPRESSION FAST RESPONSE (ESFR) WET SPRINKLER SYSTEM.
- PROVISIONS FOR DOMESTIC WATER AND NATURAL GAS SHALL BE PROVIDED.
- ALL UTILITIES SHALL BE SEPARATELY METERED.

**PARCEL #40A-2
CINNAMON OAK DRIVE
HUMBOLDT INDUSTRIAL PARK
HAZLETON, PA 18202**

These plans have been prepared solely for marketing purposes for the exclusive use of
– Mericle Commercial Real Estate Services

F:\Job\2593\mcd\DWG-SPEC\Concepts\SITE LAYOUT-082113.dwg MP

570.823.1100
mericle.com



East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985